

Item No.: 10c_supp

Date of Meeting: April 28, 2026

FT C-15 Building Improvements Commission Construction Funding Request

PN: N10301, CIP: 801096

April 28, 2026

Rod Jackson/ Jessica Carlson



Overview

- Project Information
- Project Scope
- SEF (Sustainable Evaluation Framework)
- Cone of Certainty
- Schedule



Project Information

C15 is the centerpiece of Fishermen's Terminal and includes:

- A waterfront plaza, Port of Seattle offices, tenant office space, restaurants, and stores. The multi-use building is operational 7 days a week.

Project details:

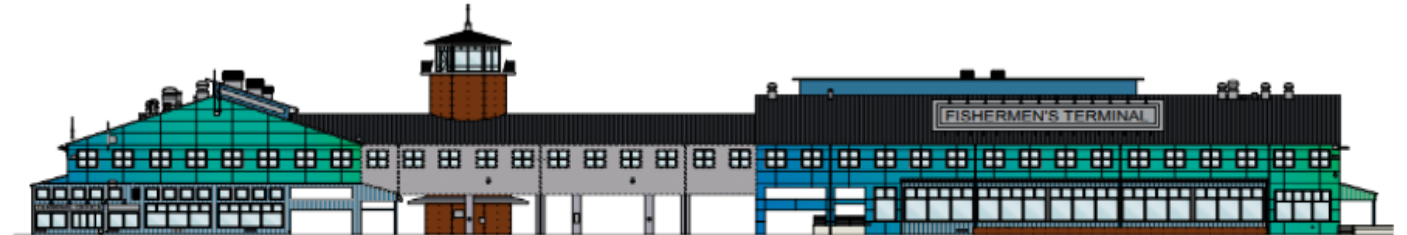
- Sponsors: Jennifer Maietta, Director RE Asset Management and Jessica Carlson Senior Real Estate Manager
- **Current Estimated Project Cost: \$17,267,000**
- **Current Estimated Construction Cost: \$16,467,000**
- **Previously Requested Authorization: \$800,000** for Seed money and Design

TODAY'S REQUEST:

- Request Commission authorization for the Executive Director to approve funding to advertise and execute a major public works construction contract for the completion of the Fishermen's Terminal (FT) C-15 Building Improvements Project. This request is in the amount of \$16,467,000 for a total estimated project cost of \$17,267,000.

Project Scope

- Roof overlay and insulation
- Gutters, rooftop vents
- Solar panels
- Cladding and insulation
- Update storefront doors and thresholds
- Triple pane windows
- Tower structure repairs
- Removable mechanical well roofs
- Art – Mary Coss – Neon Rope
- RGB LED and plaza lighting
- Bike lockers, community board, and picnic tables
- Biofiltration planters and oyster barrels.
- Compliance with State and City building energy codes.



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

Architectural Rendering of C-15 with Solar Panels and New Facade

Sustainable Evaluation Framework

- **Building Energy**

- Rooftop solar
 - 10-20% of building energy use
 - ROI 10 years
 - Lifetime Carbon Reduced: 96 tCO₂e
 - 170,000 kWh produced annually
- Cladding, insulation, LED lighting, triple pane windows, exterior sunshades
 - 46% building energy use reduction
 - ROI: 40 years
 - Lifetime Carbon Reduced: 955 tCO₂e

Waste

Salvage windows and metal siding (11.5 tons)

Stormwater

Install above-code stormwater treatment on downspouts

Materials

Procure select red list free materials

Equity

Improve plaza lighting

Keyless bike lockers

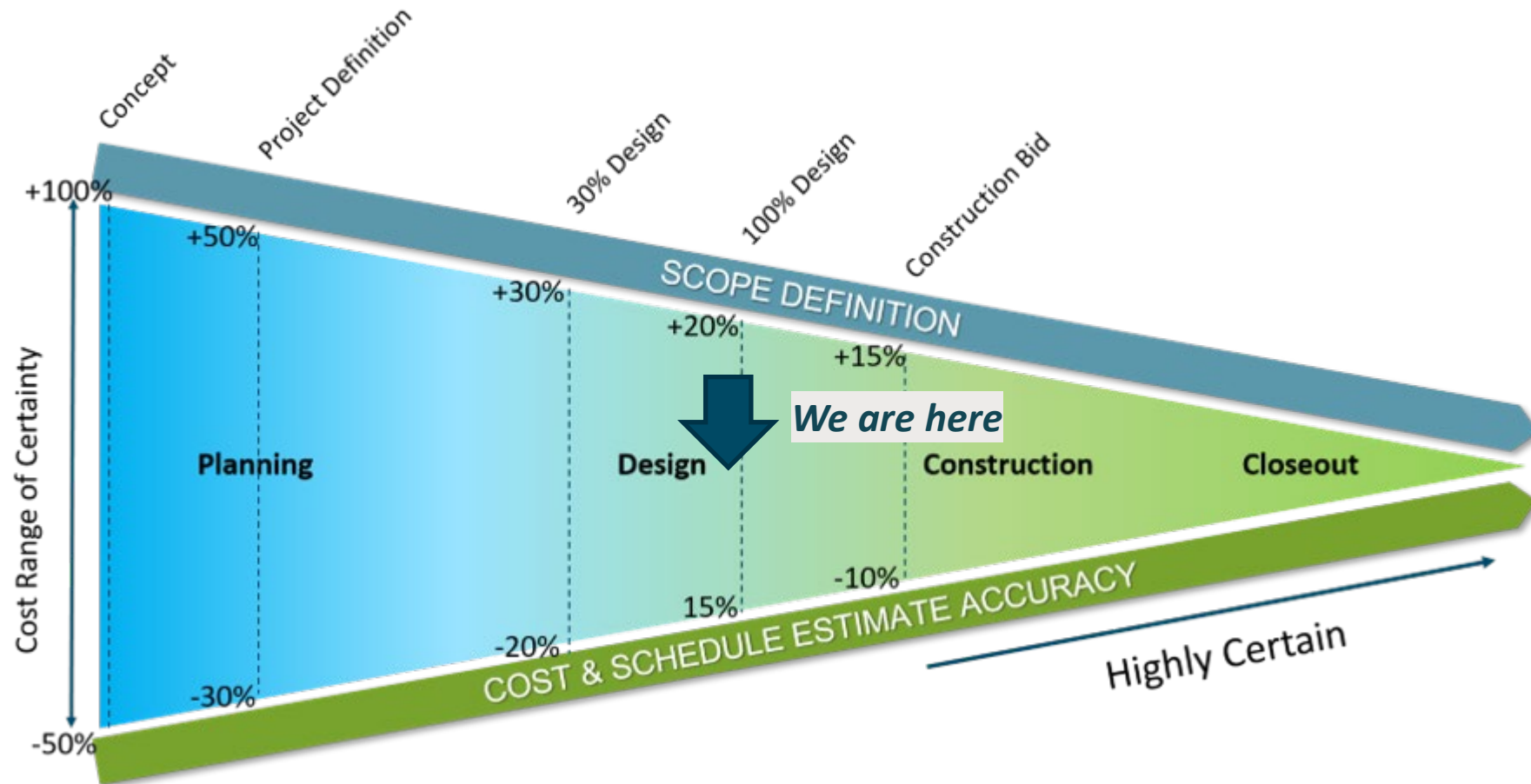
Community board

Picnic tables

Update doors and thresholds for accessibility

Note: Estimates are all rough-order-magnitude based on preliminary pre-design assumptions

Cone of Certainty



Preliminary Schedule

Commission Authorization - Construction	April 28, 2025
Notice to Proceed	2026 Quarter 4 or 2027 Quarter 1
In-use date	2027 Quarter 4

Questions?